

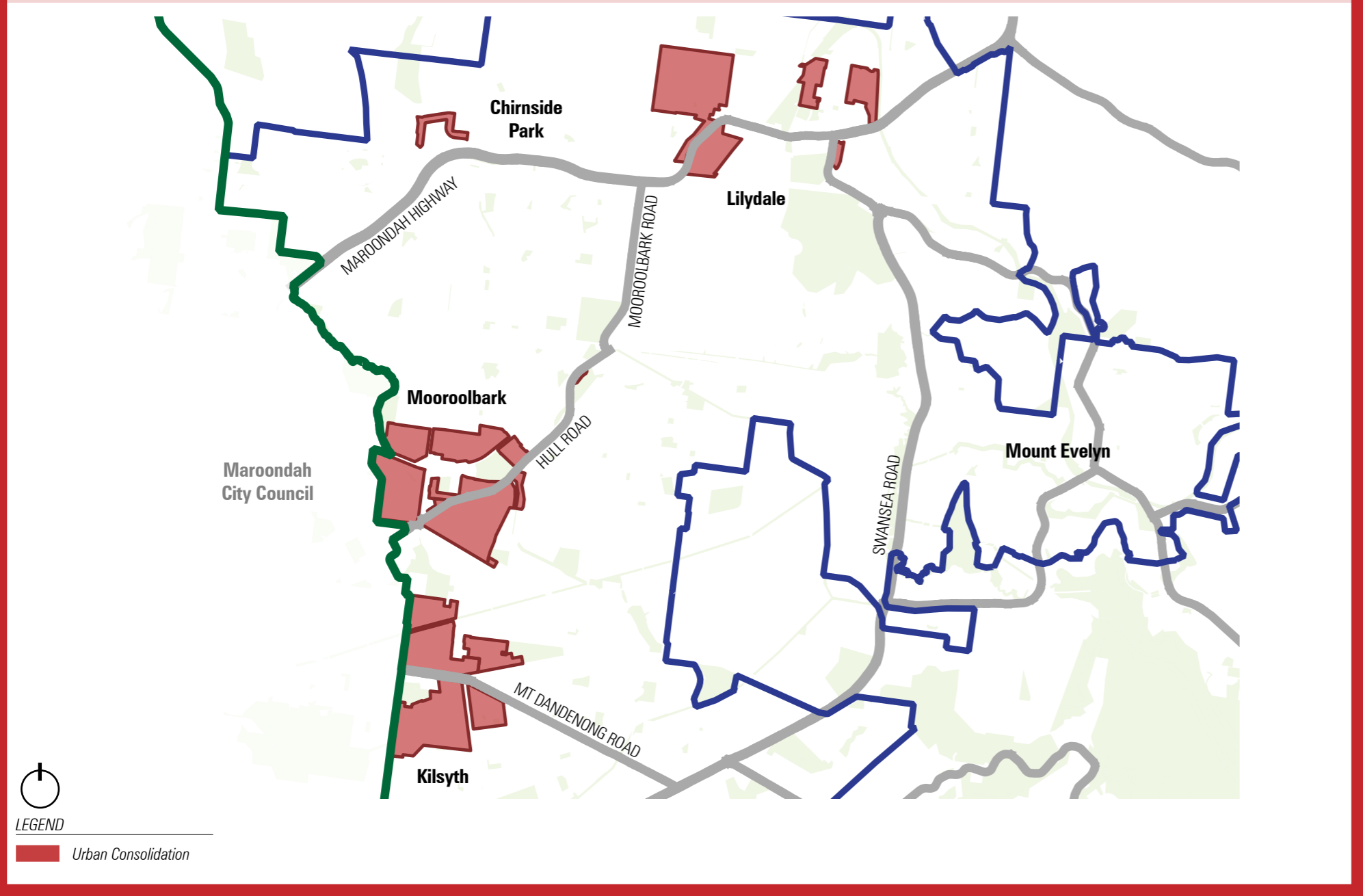


# 6 - PREFERRED FUTURE CHARACTER

# PREFERRED FUTURE CHARACTER 1: URBAN CONSOLIDATION

### Preferred Character Statement

These areas will undergo a transformation for a more diverse, compact, contemporary, multi-storey built form. The linear gridded street network will continue to reinforce the streetscape consistency, framed by canopy trees within the public realm and front gardens. Future development will be softened through landscaped driveways and front setbacks consistent with those prevailing in established streetscapes. Built form will respond to prevailing low-rise dwelling design.



### CHARACTER OBJECTIVES

This will be achieved by:

1. Ensuring upper storey elements are not bulky or visually obtrusive,
2. Consistent front setbacks,
3. Planting of canopy trees in front and rear gardens, and retention of street trees,
4. Open front garden settings with limited/low front fencing, and
5. Landscaped driveways.

### GUIDELINES

- Buildings above 2-storey should be setback further.
- Recessed upper levels are encouraged, however where ground floor setbacks to side boundaries exceed minimum requirements, sheer 2 storey forms may be acceptable (subject to facade design).
- Party-walls are supported in parts to allow greater setbacks to boundaries for daylight amenity and canopy vegetation.
- Upper levels should not cantilever into the front, rear, or side boundaries and does not cantilever over the common driveways and encroaches no more than 2m (for the purpose of balconies).
- In the RGZ/GRZ, 2 storey townhouses should step down to 1 storey to the rear where located within 5m of the common boundary. This should also be adopted where abutting a lot in the NRZ.
- Provide a landscape buffer between the driveway and common boundary.
- Encourage consistent material comprising Brick and weatherboard.
- Encourage hipped roof, or gabled roof forms.
- Where private open space is provided in upper-level balconies, minimise the extent of screening.
- Ground level secluded open space should be located away from the street frontage.
- Upper level balconies should be oriented towards the public realm.

PREFERRED FUTURE CHARACTER 1: URBAN CONSOLIDATION

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>Variation to preferred height: Buildings should not exceed 3 storeys or 11m in height, or 12m where the slope of the natural ground level is greater than 2.5 degrees (measured at any cross section of the site of the building wider than 8m).</li><li>Some sites in Lilydale within this character precinct are currently in RGZ1 &amp; DD07.</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>7.5m from front boundary; or</li><li>Match adjoining front setbacks (whichever is greater)</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>50%</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>No change</li><li>At least 20% of the site should not be covered by impervious surfaces</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x medium tree in front setback</li><li>Small trees in rear setback</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 2m ground level setback and Standard B17.</li><li>Rear setback: Minimum 4m.</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>No change</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>No change</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m</li><li>For other streets: No front fencing</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>60% (for lots at least 14m wide)</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>Not applicable</li></ul>
Building massing	<ul style="list-style-type: none"><li>Attached forms</li><li>Semi-detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Mixed native and exotic palette</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along at least the property boundary side of driveway</li></ul>
Roof	<ul style="list-style-type: none"><li>Varies</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Contemporary building styles encouraged</li><li>High quality materials supported</li></ul>
Avoid	<ul style="list-style-type: none"><li>Primary open space in balconies that are heavily screened.</li><li>Loss of landscaping in front setbacks.</li><li>Tall, impermeable street fencing.</li><li>Continuous buildings without break.</li><li>Lack of street address.</li></ul>



Example of attached townhouses providing space for canopy tree



Example of attached townhouses providing space for canopy tree

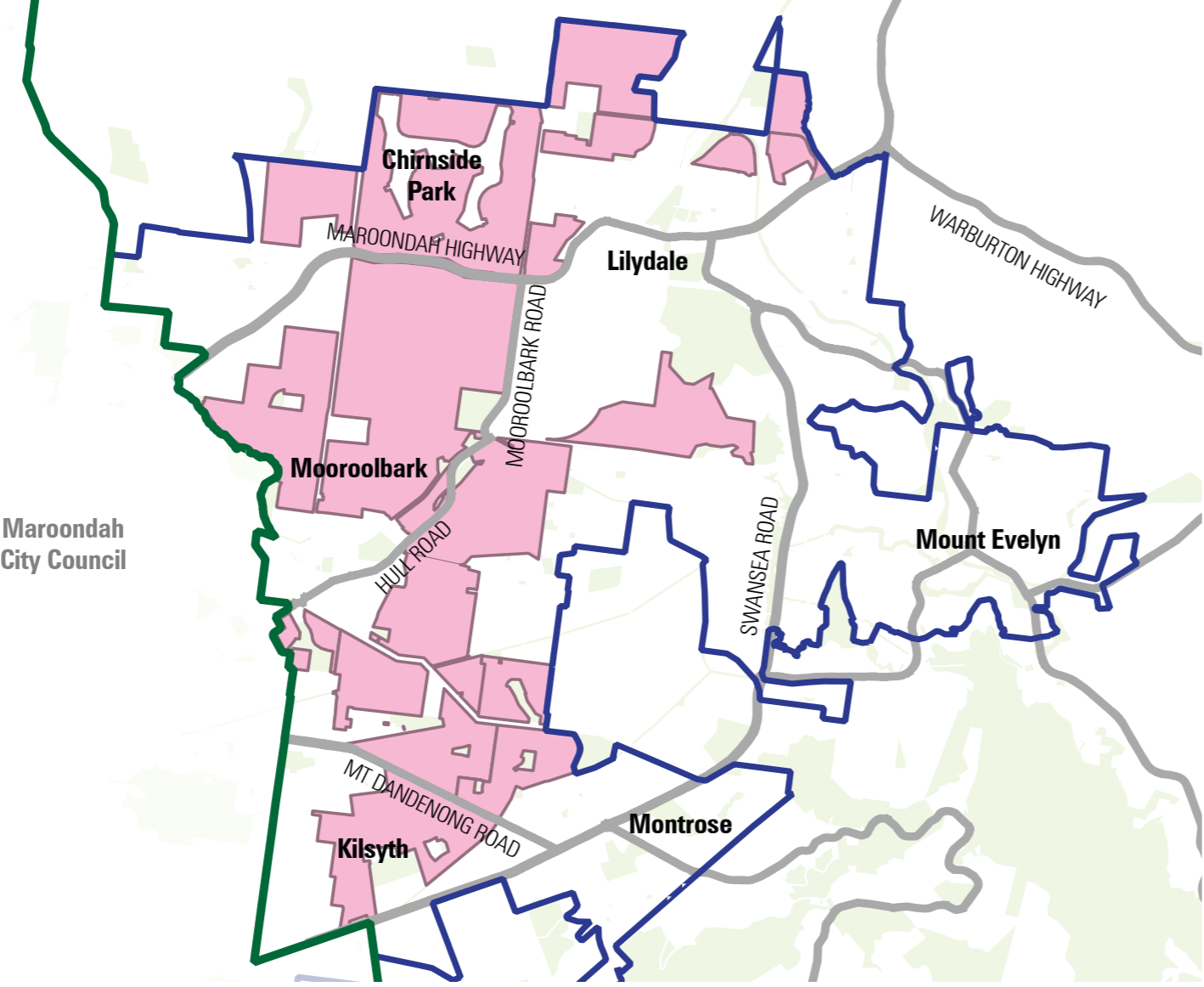


Example of attached townhouses comprising single driveway with landscape buffer to both sides

# PREFERRED FUTURE CHARACTER 2: GARDEN SUBURBAN

### Preferred Character Statement

These areas will have a moderate level of change, displaying a diversity of development styles with some existing dwellings to be retained. Future development will respond to the low-rise suburban character by recessing upper levels to mitigate the bulk of upper levels. Development will respond to prevailing front and rear setbacks, providing canopy trees and open views to front gardens. The streetscape rhythm will be maintained by retaining separation between buildings with opportunities for landscaping within the side setbacks to soften the appearance of future infill development.



### CHARACTER OBJECTIVES

This will be achieved by:

1. Sensitively accommodating moderate change which respects the prevailing front setbacks and landscaping,
2. Ensuring upper storey elements are not bulky and respond to the predominantly low-rise character through height transitions and setbacks,
3. Ensuring new built form responds to landform and sloping sites,
4. Ensuring adequate space is provided for landscaping in side and rear setbacks,
5. Providing a landscape buffer on both sides of driveways, and
6. Providing no front fencing on minor roads to respond to the open garden setting.

### GUIDELINES

- Buildings above 1-storey should be setback further.
- Detached dwellings, separated from all boundaries preferred.
- Orientate dwelling entrances towards the street providing a sense of address.
- Encourage consistent material comprising Brick and weatherboard.
- Encourage hipped roof, or gabled roof forms.
- Minimise the extent of screening for upper level windows/ balconies.

PREFERRED FUTURE CHARACTER 2: GARDEN SUBURBAN

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>No change- based on existing zoning (NRZ).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>Minimum 7.5m from front boundary; or</li><li>Match adjoining front setbacks (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 40%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 40% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x large tree in front setback, or for sites with frontages greater than 20m wide, 2 x large trees in front setback.</li><li>1 x medium tree for each new dwelling including within the rear setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 2m ground level setback and Standard B17.</li><li>Rear setback: Minimum 4m.</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>Walls on boundary on one side only.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Minimum area and depth requirements of Standard B28 to include 60m<sup>2</sup> private open space and 40m<sup>2</sup> of secluded private open space with a minimum dimension of 4m. In addition, provide a minimum landscape buffer of 1m adjacent to a side or rear boundary.</li><li>Private open space to be located at ground level only.</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: No front fencing.</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>70%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>Not applicable</li></ul>
Building massing	<ul style="list-style-type: none"><li>Attached forms</li><li>Semi-detached forms</li><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Mixed native and exotic palette</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li></ul>
Roof	<ul style="list-style-type: none"><li>Pitched roofs</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Contemporary building styles encouraged</li><li>A mix of dwellings comprising high quality timber, steel, brick and masonry materiality</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front setbacks.</li><li>Tall, impermeable street fencing.</li><li>Lack of street address.</li></ul>



Subdivision detached dwelling examples



Single driveway with landscape buffer provided along both sides

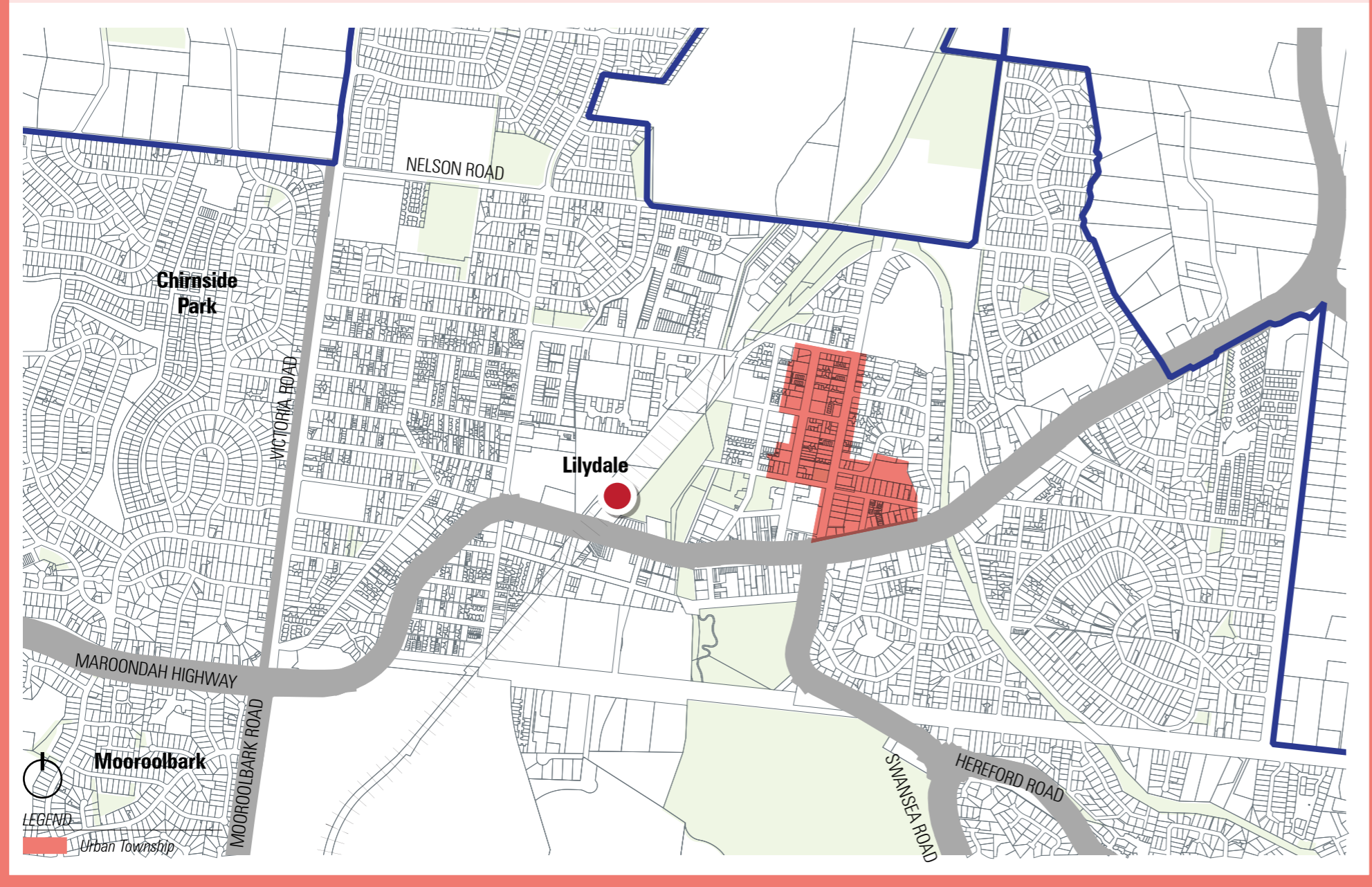


Landscaped driveways examples

# PREFERRED FUTURE CHARACTER 3: URBAN TOWNSHIP

## Preferred Character Statement

In this area, the retention of its country town character will be prioritised, as defined by its heritage streetscapes and separated buildings with hipped roof profiles, projecting eaves and verandas. The streetscape’s broad profile will continue to be visually dominated by established canopy trees and a wide nature strip with minimal interruption. Future infill development will contribute to consistent front setbacks and visually exposed front gardens, while increasing the existing scale of built form.



## CHARACTER OBJECTIVES

This will be achieved by:

1. Responding sensitively to the low-rise building character through height transitions and upper-level setbacks,
2. Consistent front and side setbacks,
3. Planting of canopy trees in front gardens, and retention of street trees,
4. Open front garden settings with limited/low front fencing, and
5. Landscaped driveways.

## GUIDELINES

- Buildings above 2-storey should be setback further.
- Recessed upper levels are encouraged, however where ground floor setbacks to side boundaries exceed minimum requirements, sheer 2 storey forms may be acceptable (subject to facade design).
- In the RGZ/GRZ, 2 storey townhouses should step down to 1 storey to the rear where located within 5m of the common boundary. This should also be adopted where abutting a lot in the NRZ.
- Upper levels should not cantilever into the front, rear, or side boundaries and does not cantilever over the common driveways and encroaches no more than 2m (for the purpose of balconies).
- Provide a landscape buffer between the driveway and common boundary.
- Encourage consistent material comprising Brick and weatherboard.
- Encourage hipped roof, or gabled roof forms and veranda.
- Orientate dwelling entrances towards the street providing a sense of address.
- Where private open space is provided in upper-level balconies, minimise the extent of screening.
- Ground level secluded open space should be located away from the street frontage.
- Minimise the extent of screening for upper level windows/ balconies.

PREFERRED FUTURE CHARACTER 3: URBAN TOWNSHIP

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>Variation to preferred height: Buildings should not exceed 3 storeys or 11m in height, or 12m where the slope of the natural ground level is greater than 2.5 degrees (measured at any cross section of the site of the building wider than 8m).</li><li>Sites within this character precinct are currently in RGZ1.</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>7.5m minimum setback from front boundary; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 50%</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 30% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x medium tree in front setback.</li><li>Small trees in rear setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Side setback: Minimum 2m ground level setback and Standard B17.</li><li>Rear setback: Minimum 4m</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>Walls should not be located on side boundaries for a distance of 5 metres behind the front facade of the building fronting the street.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>No change.</li><li>Reverse living is discouraged.</li></ul>
Standard A20 & B32	Front fence height	A front fence within 3m of a street frontage should not exceed: <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: 0.9m and visually permeable (75% transparent).</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>60%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>Not applicable</li></ul>
Building massing	<ul style="list-style-type: none"><li>Attached forms</li><li>Semi-detached forms</li><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Mixed native and exotic palette</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li></ul>
Roof	<ul style="list-style-type: none"><li>Pitched roofs, projected eaves and verandas encouraged</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Encourage development that retains and inspired by the traditional architectural styles present within the precinct</li><li>Expressive and detailed dwelling façades</li><li>Development that references the historic country town feel of Lilydale including a sense of openness, mature tree canopy and views to the landscape</li><li>A mix of timber and weatherboard, and brick and masonry dwellings of high quality materiality</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front setbacks.</li><li>Multiple driveways that adversely impact on the valued street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Continuous buildings without break.</li><li>Built form response that overwhelms the heritage (built and environment attributes of the precinct.</li><li>'Box'-like dwelling.</li><li>Lack of street address.</li></ul>



Example of a 2 storey detached dwelling orientated to the street and protecting existing tree canopy



Example of a single storey detached dwelling with gabled roof arrangement

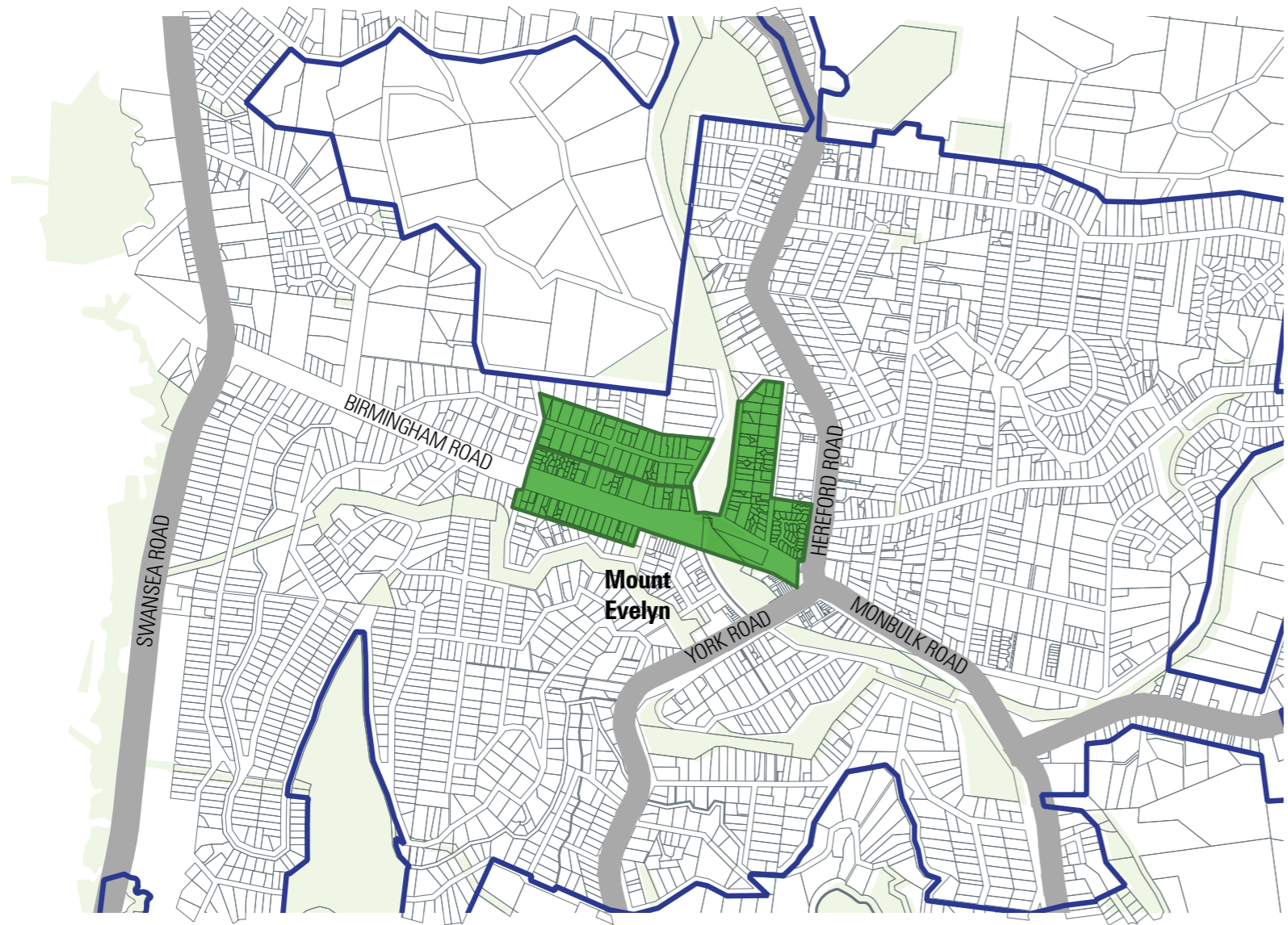


Example of single storey attached townhouses providing space for new canopy tree and vegetation

# PREFERRED FUTURE CHARACTER 4A: FOOTHILLS CONSOLIDATION

### Preferred Character Statement

These areas will undergo a moderate transformation for a more contemporary, multi-storey built form character in a landscape setting. The street networks will continue to be framed by canopy trees in the front and rear garden areas of private dwellings. Future development will be softened through landscaped driveways, consistent with those prevailing in established streetscapes and open gardens.



### CHARACTER OBJECTIVES

This will be achieved by:

1. Sensitively accommodating moderate change which respects the prevailing front setbacks,
2. Providing for canopy trees in the front and rear setbacks, and throughout multi-unit developments,
3. Ensuring upper storey elements are not bulky or visually obtrusive and having regard to the height of tree canopy in the background when viewed from the streetscape,
4. Providing low fencing, hedges and terraced landscaping to frontages to manage slope and enhance garden character, and
5. Provide a landscape buffer on both sides of driveways.

### GUIDELINES

- Buildings above 2-storey should be setback further.
- Recessed upper levels are encouraged, however where ground floor setbacks to side boundaries exceed minimum requirements, sheer 2 storey forms may be acceptable (subject to facade design).
- The height of new dwellings should have regard to the height of tree canopy in the background when viewed in the streetscape.
- Minimise the extent of screening for upper level windows/ balconies.

PREFERRED FUTURE CHARACTER 4A: FOOTHILLS CONSOLIDATION

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>No change- based on existing DD08 (9m, or 11m for sites of 1,500m<sup>2</sup> or greater).</li><li>Some sites in this character precinct are not currently influenced by DD08. Future height will be influenced by its current zone (NRZ3).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>7.5m minimum setback from front boundary ; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 50%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 40% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x large tree in front setback, or for sites with frontages greater than 20m wide, 2 x large trees in front setback.</li><li>1 x medium tree for each new dwelling within the rear setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Side setback: Minimum 2m at ground level and Standard B17.</li><li>Rear setback: Minimum 4m.</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>One side of the property must be left unencumbered.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Minimum area and depth requirements of Standard B28 to include 60m<sup>2</sup> private open space and 40m<sup>2</sup> of secluded private open space with a minimum dimension of 4m. In addition, provide a minimum landscape buffer of 1m adjacent to a side or rear boundary.</li><li>Private open space to be located at ground level only.</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: 0.9m and visually permeable (75% transparent).</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>70%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>Not applicable</li></ul>
Building massing	<ul style="list-style-type: none"><li>Attached forms</li><li>Semi-detached forms</li><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Native and indigenous landscape palette</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li></ul>
Roof	<ul style="list-style-type: none"><li>Varies</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>A mix of timber and weatherboard, and brick and masonry dwellings of high quality materiality</li><li>Encourage the use of muted colours that blend into the surrounding intimate landscape setting of bushy streetscapes and boulevards</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front and rear setbacks.</li><li>Multiple driveways that adversely impact on the street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Continuous buildings without break.</li><li>Built form response that overwhelms the landscape setting.</li><li>Loss of long range views to the valleys.</li></ul>



Example of a detached dwelling responding to the sloped terrain with an open front garden



Example of Preferred Character Outcome

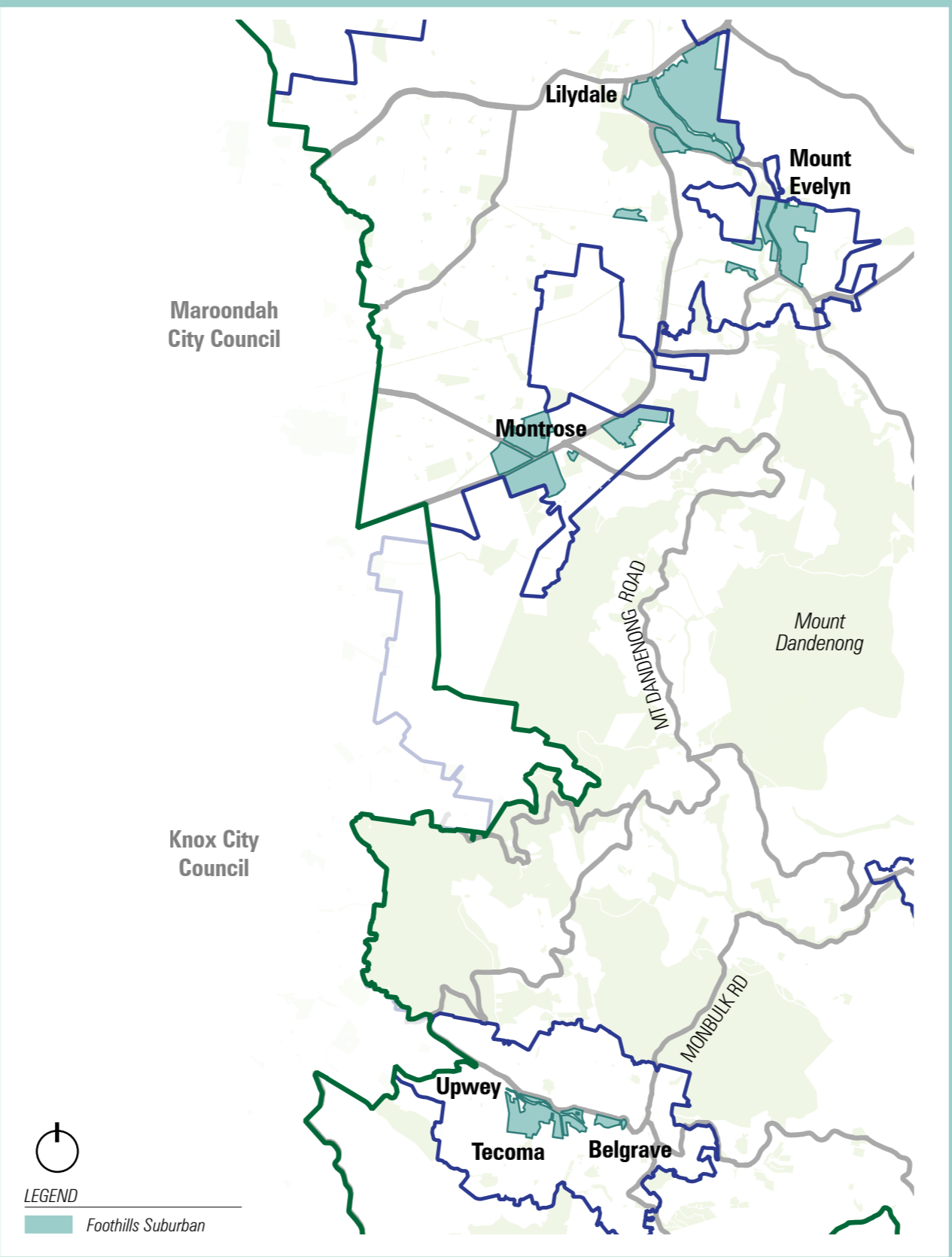


Example of villa unit providing generous front setback

# PREFERRED FUTURE CHARACTER 4B: FOOTHILLS SUBURBAN

### Preferred Character Statement

These areas will have a relatively low level of change, and many of the existing dwellings will be retained. Future dwellings will be set back from all boundaries to allow for significant landscaping to partially screen and soften built form, and to allow the appearance of the landscape to maintain its primacy over built form. Future buildings will be designed to respond sensitively to topography by stepping up or down slopes and designed to retain long-range views to distant landscapes from the public realm.



### CHARACTER OBJECTIVES

This will be achieved by:

1. Providing generous front, side and rear setbacks to buildings that maintain the prevailing setbacks,
2. Reducing the visual prominence of buildings from the public realm, and having regard to the preservation of long-range views,
3. Providing low fencing, hedges and terraced landscaping to frontages to manage slope and enhance garden character, and
4. Providing a landscape buffer on both sides of driveways.

### GUIDELINES

- Buildings above 1-storey should be setback further from common boundaries.
- The height of new dwellings should have regard to the height of tree canopy in the background when viewed in the streetscape.
- Orientate dwelling entrances towards the street providing a sense of address.
- Support permeable driveways with landscaping on both sides.
- Encouraging native planting in backyards that contribute to the well-treed skyline.
- Minimise the extent of screening for upper level windows/ balconies.

PREFERRED FUTURE CHARACTER 4B: FOOTHILLS SUBURBAN

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>No change- based on existing zoning (NRZ).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>10m minimum setback from front boundary; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 30%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 50% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x large tree in front setback and 1x large tree in rear setback.</li><li>For sites with frontages greater than 20m wide, 2 x large trees in front and 2 x large trees in rear setback.</li><li>1 x medium tree for each new dwelling including a minimum of one medium tree within the side setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 3m.</li><li>Rear setback: Minimum 7m.</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard wA11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>One side of the property must be left unencumbered.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Vary the minimum area and depth requirements of Standard B28 to include 80m<sup>2</sup> private open space and 60m<sup>2</sup> of secluded private open space with a minimum dimension of 5m, or 20% of the total site area (whichever is lesser) within convenient access from primary living area.</li><li>Provide a minimum landscape buffer of 1m adjacent to a side or rear boundary.</li><li>Private open space to be located at ground level only.</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: 0.9m and visually permeable (75% transparent).</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>70%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>No change- based on existing DD05 (The average size of lots created by the subdivision must be at least 1000m<sup>2</sup>. No new lot created by the subdivision is less than 500m<sup>2</sup>).</li><li>Ensure site coverage and permeability requirements are met.</li><li>Sites in Tecoma, Upwey and Belgrave are currently influenced by DD06. Future minimum lot size will be at least 500m<sup>2</sup>.</li></ul>
Building massing	<ul style="list-style-type: none"><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Native and indigenous landscape palette</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li><li>Curvilinear alignments</li><li>Alternative pavement treatments</li></ul>
Roof	<ul style="list-style-type: none"><li>Mix of pitch, flat and other roofs encouraged</li><li>Encourage roofs that are sympathetic to views and topographic conditions in the local setting</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Encourage development that contributes to forest/ country atmosphere where buildings are set within a landscape context, with some concealment of buildings</li><li>Predominantly timber and weatherboard cottage dwellings set within a densely vegetated forest canopy</li><li>Encourage the use of muted colours that blend into the surrounding landscape setting</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front and rear setbacks.</li><li>Multiple driveways that adversely impact on the street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Continuous buildings without break.</li><li>Built form response that overwhelms the landscape setting.</li><li>Loss of long range views to the valleys.</li></ul>



Example of single storey detached dwelling of preferred character outcome



Example of a detached dwelling responding to the sloped terrain with an open front garden arrangement

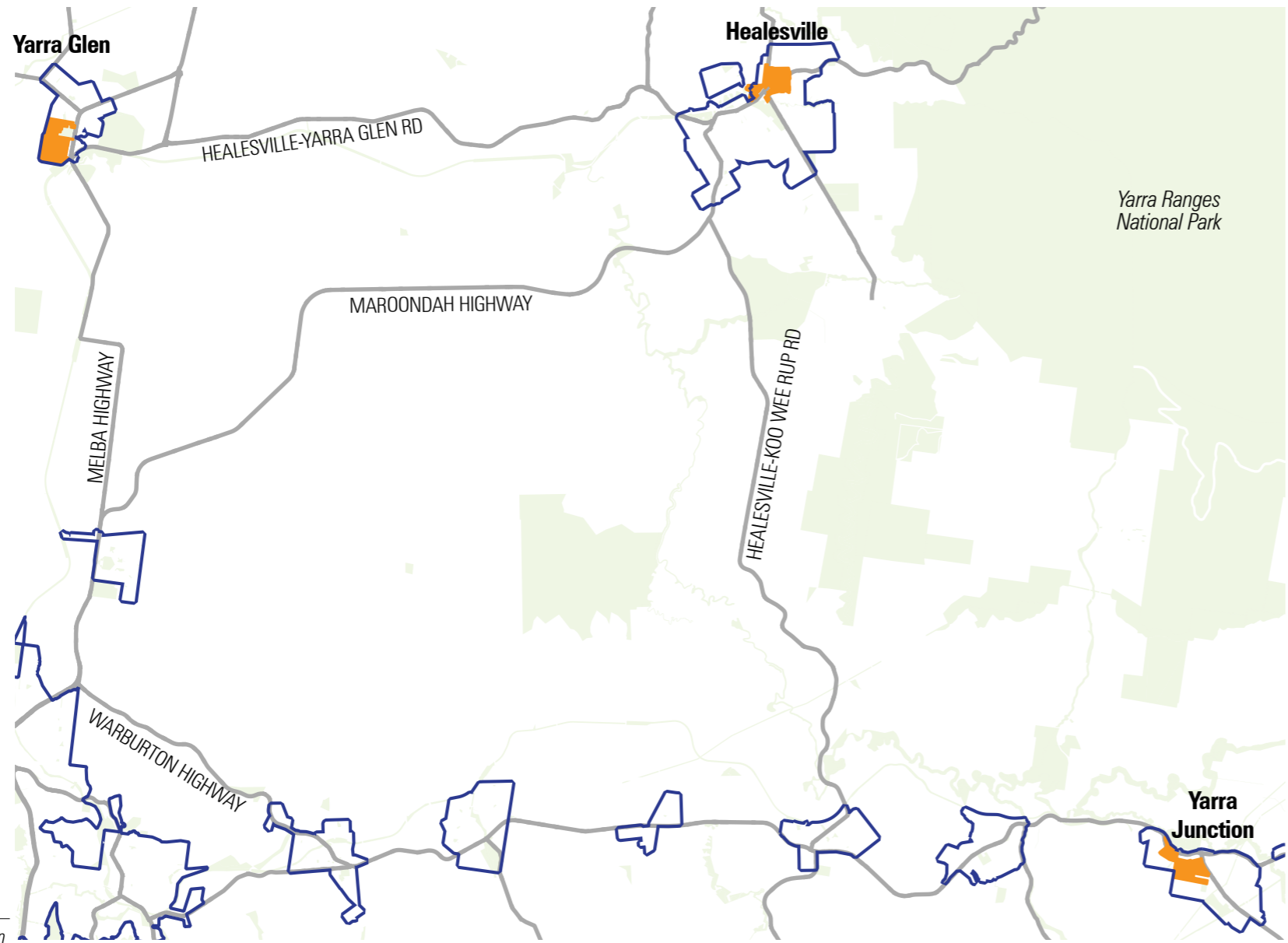


Example of Preferred Character Outcome

# PREFERRED FUTURE CHARACTER 5A: TOWNSHIP CONSOLIDATION

### Preferred Character Statement

These areas will undergo a moderate transformation to a more contemporary and compact built form character that provides adequate separation between building elements to maintain the sense of spaciousness in the public realm, landscape opportunities throughout sites, and views to distant landscape features. Future development will be softened through landscaped driveways, consistent with those prevailing in established streetscapes. Open views to front gardens will be encouraged by a continuation of low, or no front fencing.



### CHARACTER OBJECTIVES

This will be achieved by:

1. Sensitively accommodating moderate change which responds to the prevailing front, side and rear setbacks,
2. Providing for generous garden areas in the front and rear setbacks, and spacing between dwellings,
3. Ensuring upper storey elements are not bulky or visually obtrusive, and having regard to distant long-range views in the background when considering the height and massing of built form,
4. Providing low, or no, front fencing, and
5. Provide a landscape buffer on both sides of driveways.

### GUIDELINES

- Buildings above 2-storey should be setback further from common boundaries and street frontages.
- Recessed upper levels are encouraged, however where ground floor setbacks to side boundaries exceed minimum requirements, sheer 2 storey forms may be acceptable (subject to facade design).
- Party-walls are supported on in parts to allow greater setbacks to boundaries for daylight amenity and canopy vegetation.
- Upper levels should not cantilever into the front, rear, or side boundaries and does not cantilever over the common driveways and encroaches no more than 2m.
- Orientate dwelling entrances towards the street providing a sense of address.
- Encourage consistent use of bricks, stones and weatherboard as primary materials.
- Encourage hipped roof, or gabled roof forms and veranda.
- Minimise the extent of screening for upper level windows/ balconies.

PREFERRED FUTURE CHARACTER 5A: TOWNSHIP CONSOLIDATION

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>No change- based on existing DD08 (9m, or 11m for sites of 1,500m² or greater).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>7.5m minimum setback from front boundary; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 50%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 30% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x large tree in front setback, or for sites with frontages greater than 20m wide, 2 x large trees in front setback.</li><li>1 x medium tree for each new dwelling within the rear setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 2m ground level setback and Standard B17.</li><li>Rear setback: Minimum 4m</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>One side of the property must be left unencumbered.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Minimum area and depth requirements of Standard B28 to include 60m² private open space and 40m² of secluded private open space with a minimum dimension of 4m. In addition, provide a minimum landscape buffer of 1m adjacent to a side or rear boundary. Private open space to be located at ground level only.</li><li>Reverse living is discouraged.</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: 0.9m and visually permeable (75% transparent).</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>60%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>Not applicable</li></ul>
Building massing	<ul style="list-style-type: none"><li>Attached forms</li><li>Semi-detached forms</li><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Mixed native and exotic palette, consistent with cottage style gardens</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li></ul>
Roof	<ul style="list-style-type: none"><li>Pitched roofs, projected eaves and verandas encouraged</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Encourage development that retains and inspired by the traditional architectural styles present within the precinct</li><li>Expressive and detailed dwelling façades</li><li>Development that references the historic country town feel of Lilydale including a sense of openness, mature tree canopy and views to the landscape</li><li>A mix of timber and weatherboard, and brick and masonry dwellings of high quality materiality</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front setbacks.</li><li>Multiple driveways that adversely impact on the street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Continuous buildings without break.</li><li>‘Box’- like dwelling.</li><li>Loss of long range views.</li></ul>



Example of dwelling responding to an open garden setting

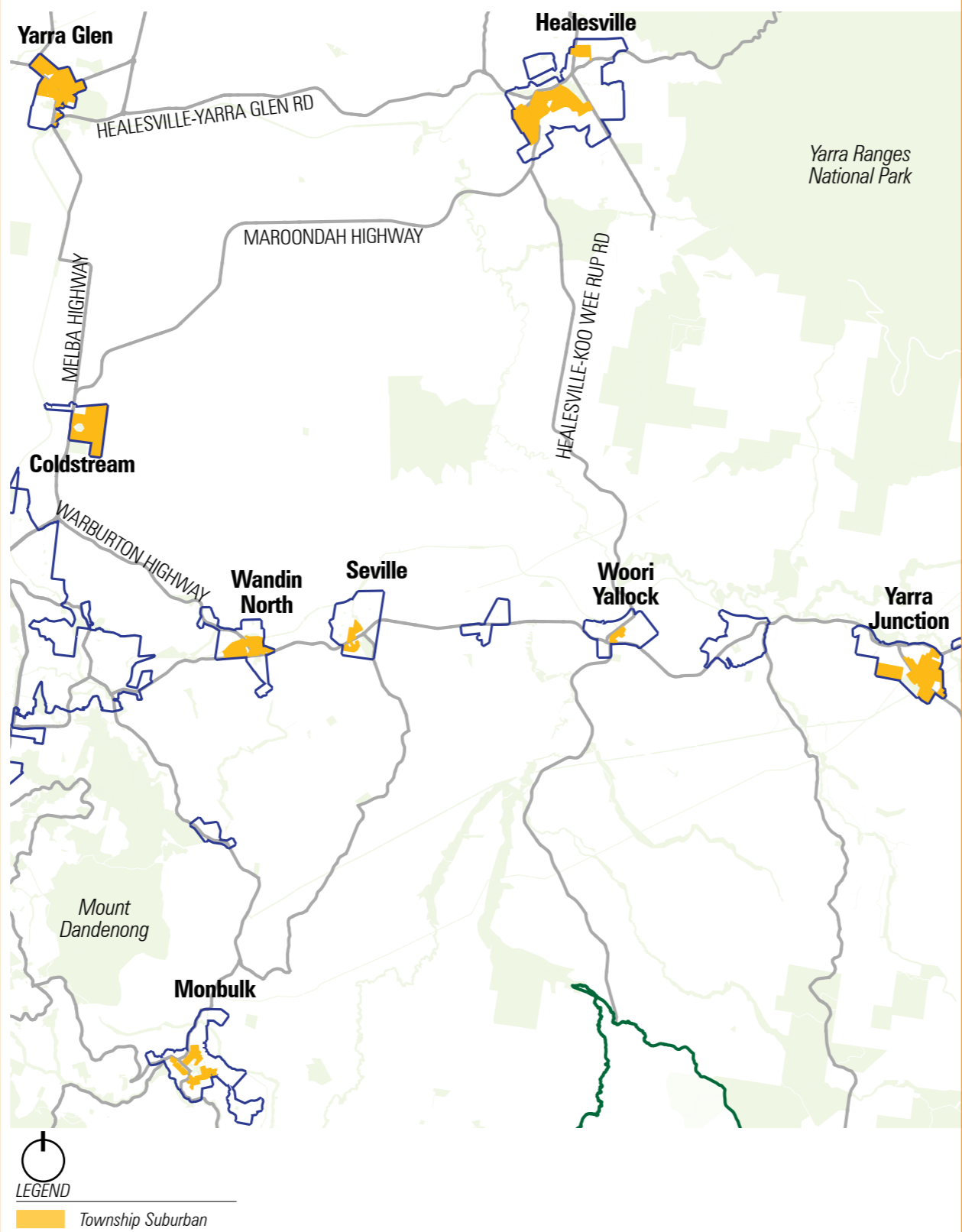


Example of attached dwellings with articulated roof forms

# PREFERRED FUTURE CHARACTER 5B: TOWNSHIP SUBURBAN

### Preferred Character Statement

Detached dwellings will continue to be the predominant form of development in these areas, set back from all boundaries and with canopy trees in front, side and rear setbacks. Future dwellings will be characterised by pitched roof forms with generous eaves and verandas facing the street frontage, with consistent setbacks from the street compared to nearby dwellings. Built form will consider the preservation of long-range views, and buildings will be visually subservient to the landscape. Front boundary treatments will continue to be low and visually permeable fencing.



### CHARACTER OBJECTIVES

This will be achieved by:

1. Providing wide front, side and rear setbacks to buildings that maintain the prevailing pattern of setbacks,
2. Having regard to the preservation of long-range views in building design and roof forms, and
3. Providing low and visually permeable fencing to front boundaries.

### GUIDELINES

- Buildings above 1-storey should be setback further from common boundaries and street frontages.
- Provide a landscape buffer on both sides of the driveway.
- The height of new dwellings should have regard to the height of tree canopy in the background when viewed in the streetscape.
- Detached dwellings with landscaping opportunities between buildings.
- Encourage consistent use of bricks, stones and weatherboard as primary materials.
- Encourage hipped roof, or gabled roof forms and veranda.
- Orientate dwelling entrances towards the street providing a sense of address.

PREFERRED FUTURE CHARACTER 5B: TOWNSHIP SUBURBAN

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>No change- based on existing zoning (NRZ).</li><li>Sites in Monbulk are currently in LDRZ. Buildings must not exceed 2 storeys or 9m in height, or 10m where the slope of the natural ground level is greater than 2.5 degrees (measured at any cross section of the site of the building wider than 8m).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>7.5m minimum setback from front boundary; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 30%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 50% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x large tree in front setback, or for sites with frontages greater than 20m wide, 2 x large trees in front setback.</li><li>1 x medium tree for each new dwelling including at least one medium tree within the side and rear setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 3m.</li><li>Rear setback: Minimum 7m.</li><li>Side and rear setbacks can be increased to accommodate for canopy trees.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>One side of the property must be left unencumbered.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Vary the minimum area and depth requirements of Standard B28 to include 80m² private open space and 60m² of secluded private open space with a minimum dimension of 5m, or 20% of the total site area (whichever is lesser). In addition, provide a minimum landscape buffer of 1m adjacent to a side or rear boundary.</li><li>Private open space to be located at ground level only.</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: 0.9m and visually permeable (75% transparent).</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>70%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>No change- based on existing DDO6 (Any vacant lot (without a dwelling) must be at least 500m². Lots of less than 500m² can be created provided it meets specific requirements outlined in DDO6).</li><li>Ensure site coverage and permeability requirements are met.</li><li>Some sites are currently influenced by DDO5. Future minimum lot size must be at least 500m². Lots of less than 500m² can be created provided it meets specific requirements outlined in DDO6.</li></ul>
Building massing	<ul style="list-style-type: none"><li>Semi-detached forms</li><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Mixed native and exotic palette, consistent with cottage style gardens</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li><li>Curvilinear alignments</li><li>Alternative pavement treatments</li></ul>
Roof	<ul style="list-style-type: none"><li>Pitched roofs, projected eaves and verandas encouraged</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Encourage development that retains and inspired by the traditional architectural styles present within the precinct</li><li>Expressive and detailed dwelling façades</li><li>Development that references the historic country town feel including a sense of openness, mature tree canopy and views to the landscape</li><li>A mix of timber and weatherboard, and brick and masonry dwellings of high quality materiality</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front and rear setbacks.</li><li>Multiple driveways that adversely impact on the street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Loss of informal streetscape setting.</li><li>'Box'- like dwelling.</li><li>Loss of long range views.</li></ul>



Example of subdivision of single storey dwellings



Example of single storey dwelling with two large trees within generous front setback

PREFERRED FUTURE CHARACTER 5C: TOWNSHIP RURAL-RESIDENTIAL

Preferred Character Statement

These areas will have a minimal amount of change, and will remain dominated by detached, low rise dwellings, with extensive setbacks from all boundaries and with large native and exotic trees on private and public land. Future dwellings will be characterised by pitched roof forms with generous eaves and verandas facing the street frontage, and generous setbacks from the street. Buildings will be subservient to the landscape, and remnant vegetation in the private and public realms will be protected. Built form will consider the preservation of long-range views. Front boundary treatments will continue to be low and visually permeable fencing.



CHARACTER OBJECTIVES

This will be achieved by:

- 1. Providing extensive front, side and rear setbacks to buildings that maintain the prevailing pattern of setbacks,
- 2. Encouraging use of verandas and projecting eaves in dwelling design,
- 3. Having regard to the preservation of long-range views in building design and roof forms, and
- 4. Providing low and visually permeable fencing to front boundaries.

GUIDELINES

- Detached dwellings with generous separation from all boundaries.
- Buildings above 1-storey should be setback further.
- The height of new dwellings should have regard to the height of tree canopy in the background when viewed in the public realm.
- Support permeable driveways with landscaping on both sides.
- Encourage consistent use of weatherboard and tiles as primary materials.
- Encourage hipped roof, or gabled roof forms.
- Encouraging native planting in backyards that contribute to the well-treed skyline.
- Avoid reflective roof materials.

PREFERRED FUTURE CHARACTER 5C: TOWNSHIP RURAL-RESIDENTIAL

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>No change- based on existing zoning (NRZ).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>10m minimum setback from front boundary; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 30%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 50% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>2 x large trees in front setback, or for sites with frontages greater than 30m wide, 3 x large trees in front setback.</li><li>1 x medium tree for each new dwelling including a minimum of one medium tree within the side or rear setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 3m.</li><li>Rear setback: Minimum 10m.</li></ul>
Standard A11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>Not supported.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Vary the minimum area and depth requirements of Standard B28 to include 80m<sup>2</sup> private open space and 60m<sup>2</sup> of secluded private open space with a minimum dimension of 5m, or 20% of the total site area (whichever is lesser). In addition, provide a minimum landscape buffer of 1m adjacent to a side or rear boundary.</li><li>Private open space to be located at ground level only.</li></ul>
Standard A20 & B32	Front fence height	<p>A front fence within 3m of a street frontage should not exceed:</p> <ul style="list-style-type: none"><li>Road Zone Category 1: 2m.</li><li>For other streets: 0.9m and visually permeable (75% transparent).</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>70%.</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>No change- based on existing DD05 (The average size of lots created by the subdivision must be at least 1000m<sup>2</sup>. No new lot created by the subdivision is less than 500m<sup>2</sup>).</li><li>Ensure site coverage and permeability requirements are met.</li></ul>
Building massing	<ul style="list-style-type: none"><li>Detached forms.</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Mixed native and exotic palette, consistent with cottage style gardens.</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides.</li><li>Curvilinear alignments.</li><li>Alternative pavement treatments.</li></ul>
Roof	<ul style="list-style-type: none"><li>Pitched roofs, projected eaves and verandas encouraged.</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Encourage development that retains and inspired by the traditional architectural styles present within the precinct.</li><li>Expressive and detailed dwelling façades.</li><li>Development that references the historic country town feel of Lilydale including a sense of openness, mature tree canopy and views to the landscape.</li><li>A mix of timber and weatherboard, and brick and masonry dwellings of high quality materiality.</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front, side and rear setbacks.</li><li>Multiple driveways that adversely impact on the street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Loss of informal streetscape setting.</li><li>Loss of long range views to pastoral fields and landscaped backdrop.</li><li>‘Box’- like dwelling.</li><li>Loss of long range views.</li></ul>



Example of single storey detached dwelling maximising views to landscape



Example of a detached dwelling responding to the sloped terrain with an open front garden arrangement

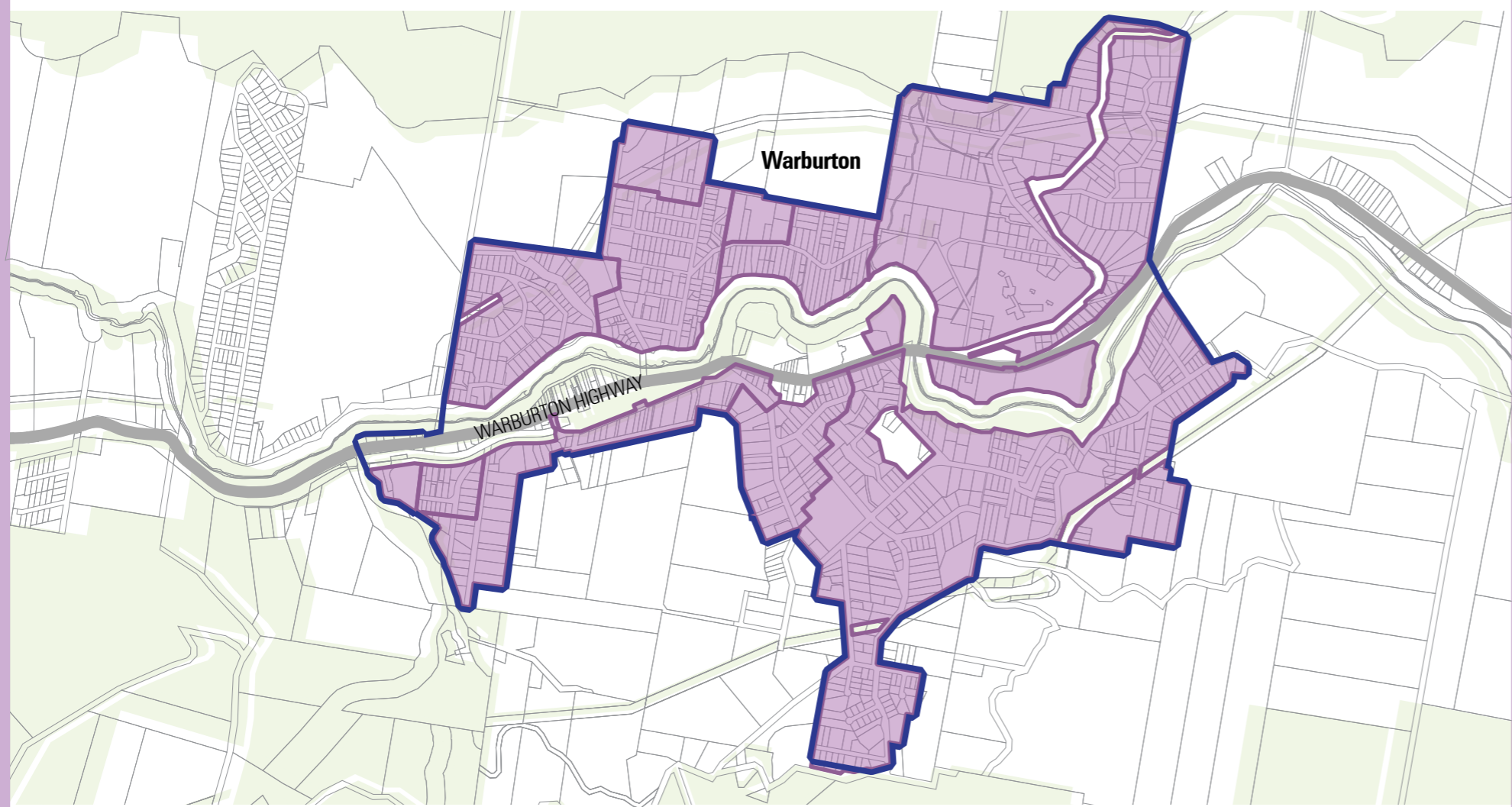


Example of retention of remnant landscape in front setbacks

# PREFERRED FUTURE CHARACTER 6: Warburton Township

### Preferred Character Statement

Warburton will have a minimal amount of change, and will remain dominated by detached, low rise dwellings, with extensive setbacks from all boundaries and with large native trees on private and public land. Future dwellings will be characterised by pitched roof forms, with generous front setbacks. Built form will consider the preservation of long-range views. Buildings will be subservient to the landscape, and remnant vegetation in the private and public realms will be protected. Front boundary treatments will continue to be low, permeable, or no front fencing.



LEGEND

Warburton Township

### CHARACTER OBJECTIVES

This will be achieved by:

1. Providing extensive front, side and rear setbacks to buildings that maintain the prevailing pattern of setbacks,
2. Having regard to the preservation of long-range views in building design and roof forms
3. Buildings over one storey should be set back further,
4. Sensitively designing and siting buildings with regard to topography,
5. Providing low, visually permeable, or no fencing to front boundaries, and
6. Encourage native planting in backyards that contributes to the well-treed skyline.

### GUIDELINES

- The height of new dwellings should have regard to the height of tree canopy in the background when viewed in the public realm.
- Support permeable driveways with landscaping on both sides.
- Encourage consistent use of weatherboard and tiles as primary materials.
- Encourage hipped roof, or gabled roof forms.
- Avoid reflective roof materials.

PREFERRED FUTURE CHARACTER 6: Warburton Township

ResCODE RECOMMENDATIONS		
ResCode Standard		Recommendation
A4/ B7	Building Height	<ul style="list-style-type: none"><li>Sites in this character precinct are currently in LDRZ.</li><li>Building profiles should step down along topography where applicable.</li><li>Buildings must not exceed 2 storeys or 9m in height, or 10m where the slope of the natural ground level is greater than 2.5 degrees (measured at any cross section of the site of the building wider than 8m).</li></ul>
Standard A3 & B6	Minimum street setback	<ul style="list-style-type: none"><li>7.5 minimum setback from front boundary; or</li><li>Match adjoining (whichever is greater).</li></ul>
Standard A5 & B8	Site coverage	<ul style="list-style-type: none"><li>The site area covered by buildings should not exceed 30%.</li></ul>
Standard A6 & B9	Permeability and stormwater management	<ul style="list-style-type: none"><li>At least 50% of the site should not be covered by impervious surfaces.</li></ul>
Standard B13	Landscaping	<ul style="list-style-type: none"><li>1 x large tree in front setback, or for sites with frontages greater than 20m wide, 2 x large trees in front setback.</li><li>2 x large trees in rear setback, or for sites with depths greater than 50m, 3 x large trees in rear setback.</li><li>1 x medium tree for each new dwelling within the side setback.</li></ul>
Standard A10 & B17	Side and rear setbacks	<ul style="list-style-type: none"><li>Side setback: Minimum 3m.</li><li>Rear setback: Minimum 10m.</li></ul>
Standard wA11 & B18	Walls on boundaries	<ul style="list-style-type: none"><li>Not supported.</li></ul>
Standard A17 & B28:	Private open space	<ul style="list-style-type: none"><li>Vary the minimum area and depth requirements of Standard B28 to include 80m<sup>2</sup> private open space and 60m<sup>2</sup> of secluded private open space with a minimum dimension of 5m, or 20% of the total site area (whichever is lesser). In addition, provide a minimum landscape buffer of 1m adjacent to a side or rear boundary.</li><li>Private open space to be located at ground level only.</li></ul>

GENERAL POLICY RECOMMENDATIONS	
Guidelines	Recommendation
Front setback permeability	<ul style="list-style-type: none"><li>70%</li></ul>
Minimum lot size	<ul style="list-style-type: none"><li>No change- based on existing zoning (LDRZ).</li></ul>
Building massing	<ul style="list-style-type: none"><li>Detached forms</li></ul>
Landscape types	<ul style="list-style-type: none"><li>Native and indigenous landscape palette</li></ul>
Driveways	<ul style="list-style-type: none"><li>Single driveway with landscape buffer provided along both sides</li><li>Curvilinear alignments</li><li>Alternative pavement treatments</li></ul>
Roof	<ul style="list-style-type: none"><li>Pitched roofs, projected eaves</li></ul>
Design detail / materiality	<ul style="list-style-type: none"><li>Encourage cottage- style architecture treatment</li><li>Development that references the historic country town feel of Lilydale including a sense of openness, mature tree canopy and views to the landscape</li><li>A mix of timber and weatherboard, and brick and masonry dwellings of high quality materiality</li></ul>
Avoid	<ul style="list-style-type: none"><li>Loss of landscaping in front, side and rear setbacks.</li><li>Diminished landscape prominence and long range views to the ranges.</li><li>Multiple driveways that adversely impact on the street trees and vegetation.</li><li>Tall, impermeable street fencing.</li><li>Loss of informal streetscape setting.</li><li>'Box'- like dwelling.</li></ul>



Example of informal quality of the public realm



Example of detached dwelling with generous separation from all boundaries protecting tree canopy

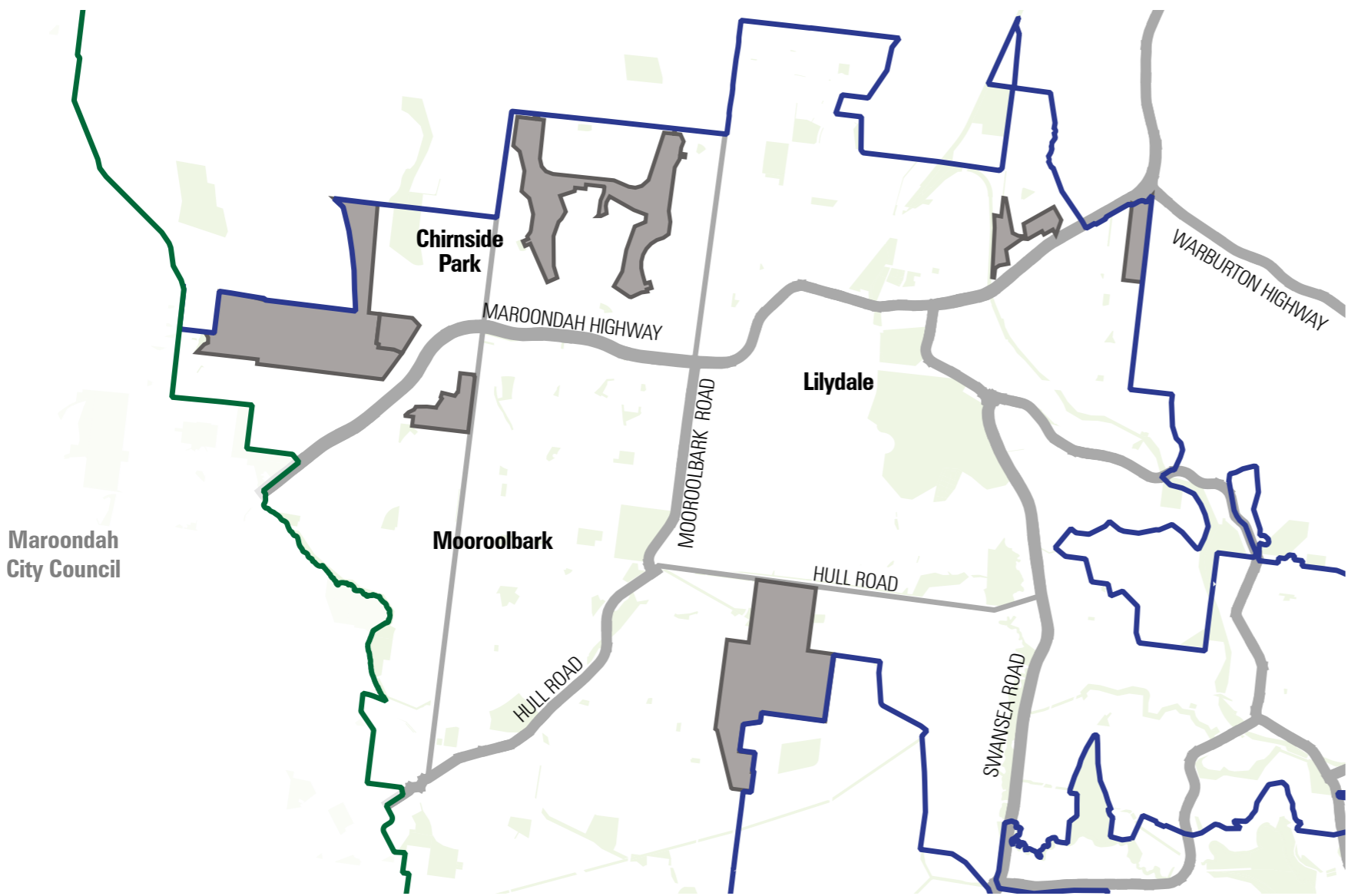


Example of single storey dwelling stepping down along topography

# PREFERRED FUTURE CHARACTER 7: MASTERPLANNED ESTATES (LEAST CHANGE)

### Preferred Character Statement

These areas are not anticipated to provide any opportunities for change in the next 15 years. Any replacement of existing dwellings will adhere to the established pattern of site cover, the pattern of front and side setbacks, and maintaining the open front garden character.



LEGEND

Masterplanned Estates

### CHARACTER OBJECTIVES

This will be achieved by:

1. Providing front setbacks consistent with those of adjoining properties facing the same street,
2. Providing no front fencing on minor roads to respond to the open garden setting, and
3. Providing a landscape buffer between the driveway and the boundary.

### POLICY RECOMMENDATIONS/ GENERAL RECOMMENDATIONS

It is intended that any future development in these areas be governed by the following:

- No change to ResCode.
- Application of the NRZ and GRZ
- In determining an appropriate response to neighbourhood character, to have regard to the general statements of 'Valued attributes' and 'Preferred future character' from the Housing Strategy, to be interpreted in the context of the neighbourhood and streetscape character of each distinct estate.

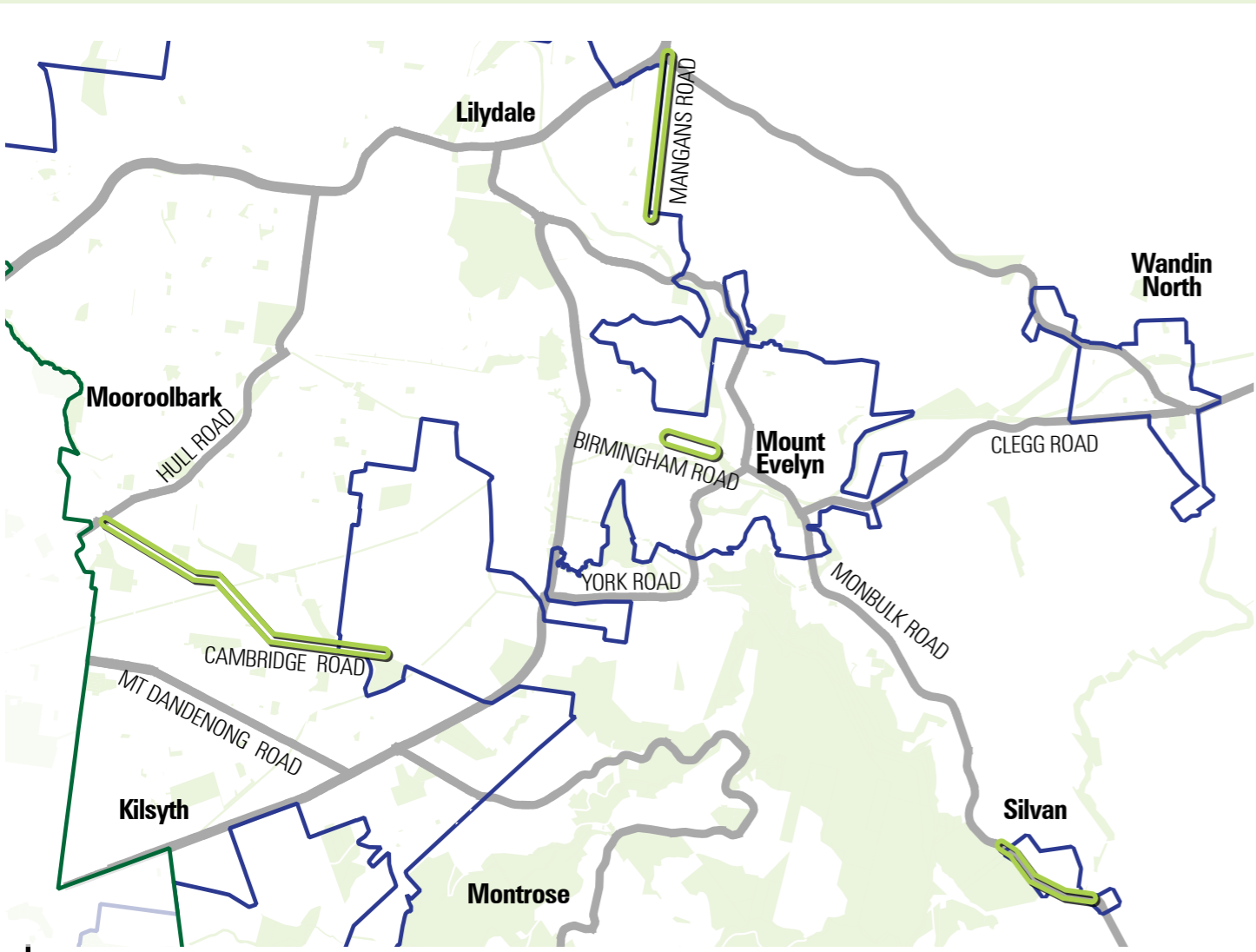
### ASSUMPTIONS

- This areas include master planned estates - both recent and established (upwards of 30 years old). They are typically distinguishable from longer established residential areas by their cul-de-sac layouts and generally compact development patterns with limited space to sides and rears of dwellings.
- This broad character type also includes retirement villages which due to their master planning settings, boast similar characteristics and limited future development capacity.
- Planned estates are not likely to provide any opportunities for change in the next 15 years – which is the life span of any residential strategy.

PREFERRED FUTURE CHARACTER 8A: BUSH BOULEVARDS

Preferred Character Statement

Allotments fronting bush boulevards will continue to be defined by substantial native trees and vegetation. Future development will be subservient to its landscape setting and seek to enhance it by avoiding the loss of existing street trees. Dwellings will be setback from the street frontage to accommodate complimentary landscaping.



CHARACTER OBJECTIVES

The key preferred character outcomes for this precinct seek to:

1. To protect the boulevard character and its canopy vegetation,
2. To protect the informal quality of the bush boulevard and minimise visual exposure of dwellings, and
3. To avoid loss of permeability and extensive hard surface within the public realm.

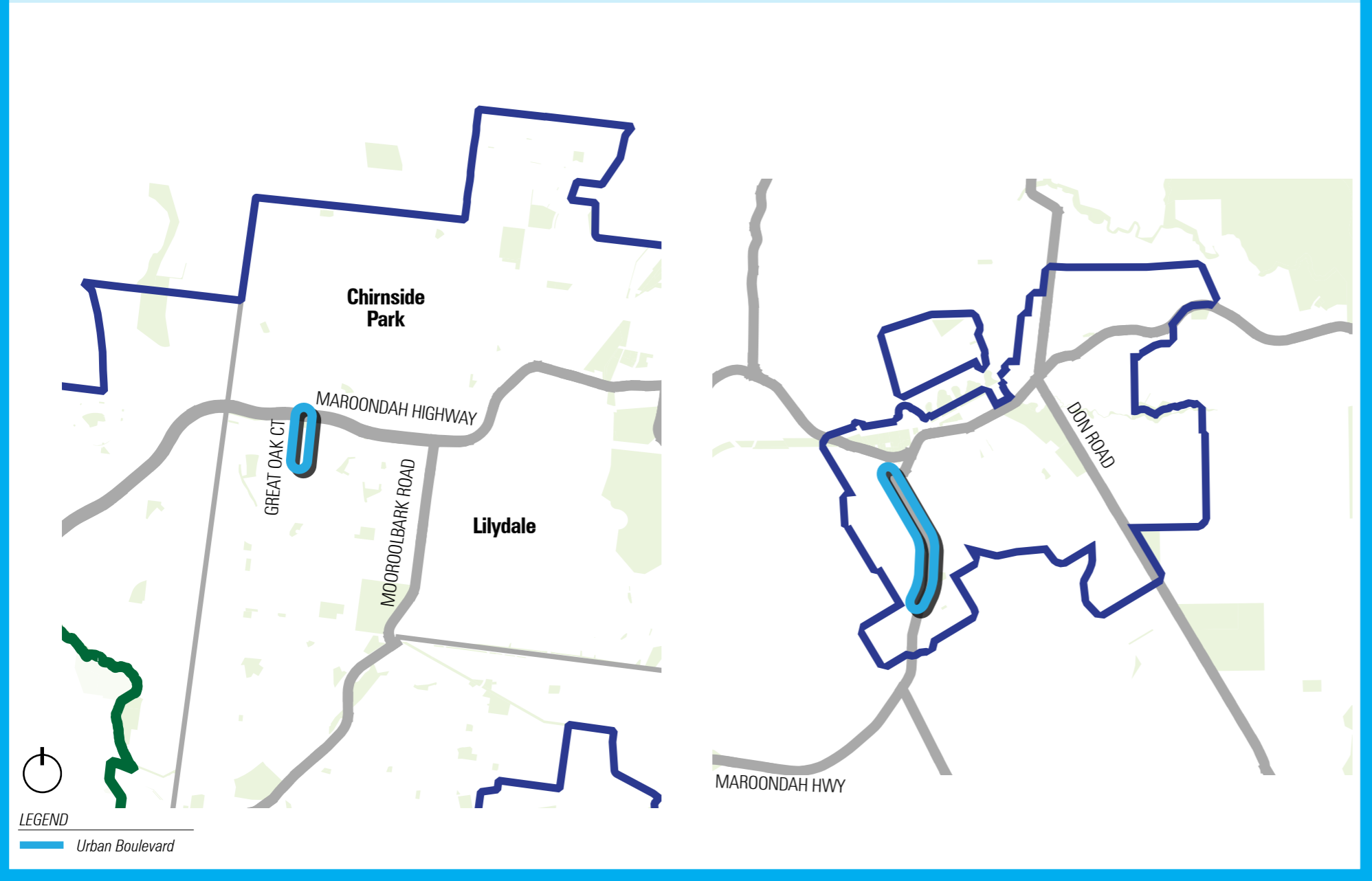
GUIDELINES

- Orientate dwelling entrances towards the street providing a sense of address.
- Support landscaping on private land that complements the Bush Boulevard character and retain existing vegetation.
- Adopting a consistent setback along each road to create a consistent alignment of building facades.
- Step buildings in relation to the topography so that building profiles to limit the presentation of blank walls as a result of level change.
- Minimise the number of driveways and vehicle access points, using shared driveways where possible.
- Encourage native planting in backyards that contribute to the well-treed skyline.
- Encourage landscaped, curvilinear driveways with alternative surface treatments reflective of the surrounding bush character.

# PREFERRED FUTURE CHARACTER 8B: URBAN BOULEVARDS

## Preferred Character Statement

Allotments fronting urban boulevards will continue to be subservient to its landscape setting, defined by regularly planted canopy trees and formal streetscape profile. Future development will enhance this landscape setting by avoiding the loss of existing street trees. Dwellings will be setback from the street frontage to accommodate complimentary landscaping. Vehicular driveways will be limited to minimise loss of canopy trees within the public and private realms.



## CHARACTER OBJECTIVES

The key preferred character outcomes for this precinct seek to:

1. To maintain and enhance formal urban boulevard streetscape quality and character,
2. To ensure new development protects existing street canopy vegetation, and
3. To avoid loss of permeability and extensive hard surface within the public realm.

## GUIDELINES

- Orientate dwelling entrances towards the street providing a sense of address.
- Support landscaping on private land that complements the Urban Boulevard character and retain existing vegetation.
- Adopt a consistent setback along each road to create a consistent alignment of building façades.
- Step buildings in relation to the topography so that building profiles to limit the presentation of blank walls as a result of level change.
- Minimise the number of driveways and vehicle access points, using shared driveways where possible.
- Encourage landscaped, curvilinear driveways with alternative surface treatments reflective of the surrounding urban boulevard character.

GLOSSARY

CHARACTER ELEMENTS IN DESIGN GUIDELINES TABLE OF ELEMENTS

**Building Height and Form:** refers to building height (as measured from natural ground level), roof form and the massing of building elements

**Building Materials and Design Details:** refers to external building materials, façade articulation and design elements such as verandahs, awnings, window configurations and eaves.

**Car Parking Structures:** refers to the presence and location of on-site car parking structures such as garages, carports, driveways and uncovered car spaces

**Front Boundary Treatment:** refers to the presence, height and style of front fences

**Lot Frontage:** refers to the width of lots

**Siting:** refers to front setbacks, side setbacks and the area’s rear garden character

**Vegetation:** refers to the trees and landscaping on the site

GENERAL TERMS

**‘Box’-like:** refers to a building with proportions and detailing that give it a box-like appearance. Typical characteristics include sheer two storey walls, no or narrow eaves, a symmetrical unarticulated front façade and a low pitched or flat roof form with parapet detailing

**Heritage Buildings:** refers to historic buildings that are subject to statutory protection through a Heritage Overlay or the Victorian Heritage Register

**Front Setback:** the distance between the front property boundary and the dwelling, categorised as:

- **Small:** 0m to 5m
- **Medium:** 5m to 7m
- **Large:** 7m+

Front Fence Height

- **Small:** 0m
- **Medium:** 0.9m to 1.5m high
- **Large:** over 1.5m high

Roof Forms

- **Flat -** refers to a roof with a gradient of 10 degrees or less
- **Pitched -** refers to a roof with two slopes that meet at a central ridge
- **Veranda -** refers to a roofed, open-air gallery or porch, attached to the outside of a building.

Dwelling Typology/ Multi-Unit Dwellings

- **Flats / Apartment Buildings:** refer to several dwellings contained in a multi-storey structure
- **Townhouses:** refer to dwellings of two or more storeys that have their own entrance and private yard, but which adjoin another dwelling
- **Villas:** refer to groups of dwellings which have their own entrance and private yard, which may or may not adjoin another dwelling, but which generally share common areas such as driveways and car parking



**hansen**

